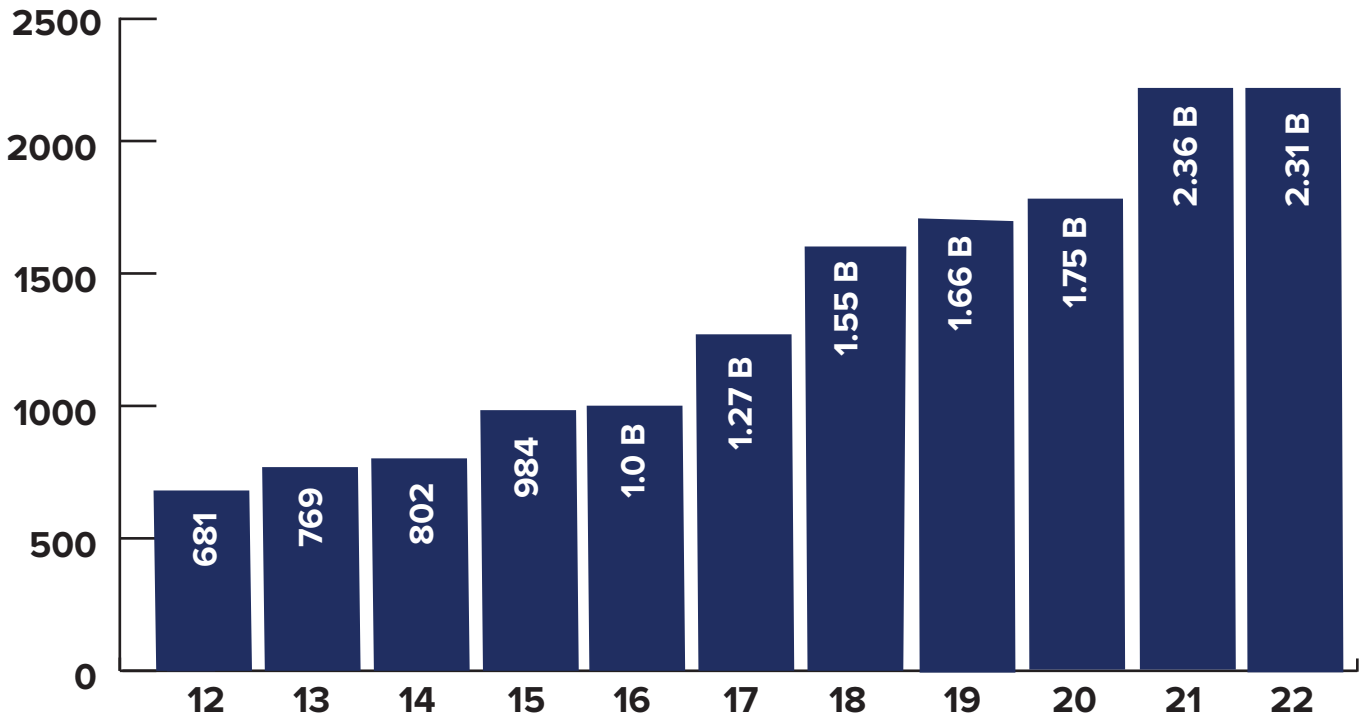




MARKET STATS

OCTOBER 2023

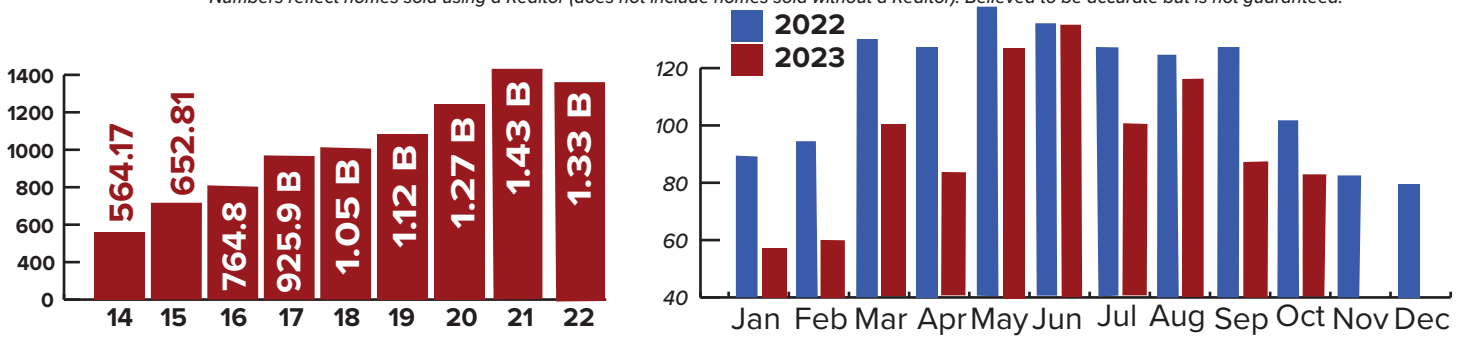
TOTAL MESA COUNTY HISTORICAL GROSS SALES VOLUME (\$MILLIONS)



Reported by Land Title Company and believed to be accurate but is not guaranteed.

MESA COUNTY RESIDENTIAL SALES VOLUME (\$MILLIONS)

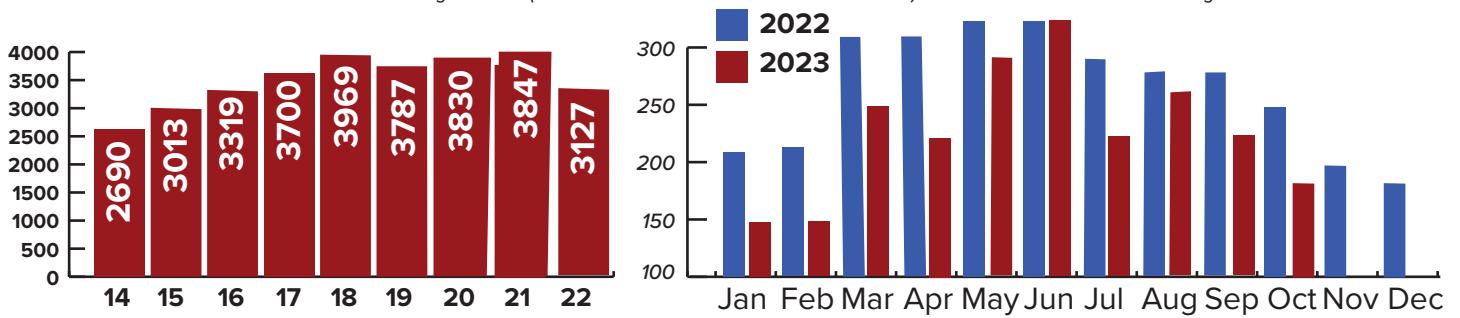
Numbers reflect homes sold using a Realtor (does not include homes sold without a Realtor). Believed to be accurate but is not guaranteed.



	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2021	80.44	78.78	129.25	113.3	129.92	152.33	139.08	121.14	131.77	109.96	120.56	127.57
2022	89.19	91.52	129.68	127.15	138.61	142.32	125.51	120.80	123.56	99.13	76.84	72.01
2023	55.06	61.41	101.75	91.16	123.12	140.47	99.93	110.36	92.5	74.4		
TREND	-38%	-33%	-22%	-30%	-11%	-3%	-20%	-9%	-25%	-25%		

MESA COUNTY NUMBER OF RESIDENTIAL SALES

Numbers reflect homes sold using a Realtor (does not include homes sold without a Realtor). Believed to be accurate but is not guaranteed.



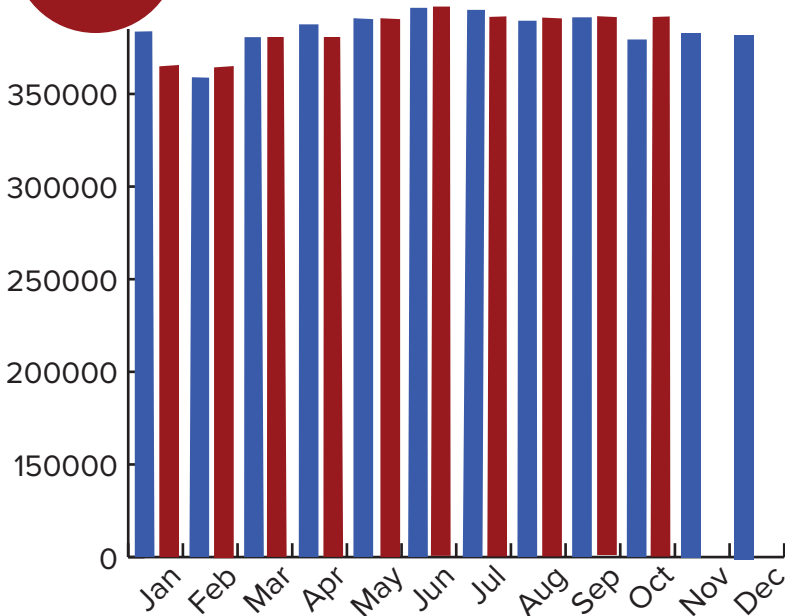
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
2021	238	246	355	316	343	405	362	317	340	298	297	330
2022	216	224	316	301	321	322	286	270	274	248	182	167
2023	143	146	242	212	278	314	214	254	219	170	-	-
TREND	-34%	-35%	-23%	-30%	-13%	-1%	-25%	-6%	-20%	-31%	-	-



2022
2023

MEDIAN SALES PRICE

OCTOBER 2023: \$406,500



ON AVERAGE,
HOMES SOLD FOR

98.07%

OF THEIR LIST PRICE
IN OCTOBER 2023

	JAN	FEB	MAR	APR	MAY	JUN
2021	295,875	294,250	324,900	329,450	335,000	335,000
2022	377,750	360,750	370,000	385,000	395,000	410,000
2023	362,000	358,250	372,500	384,250	403,500	410,000
TREND	-4%	-0.7%	+0.0%	+0.0%	+2%	-

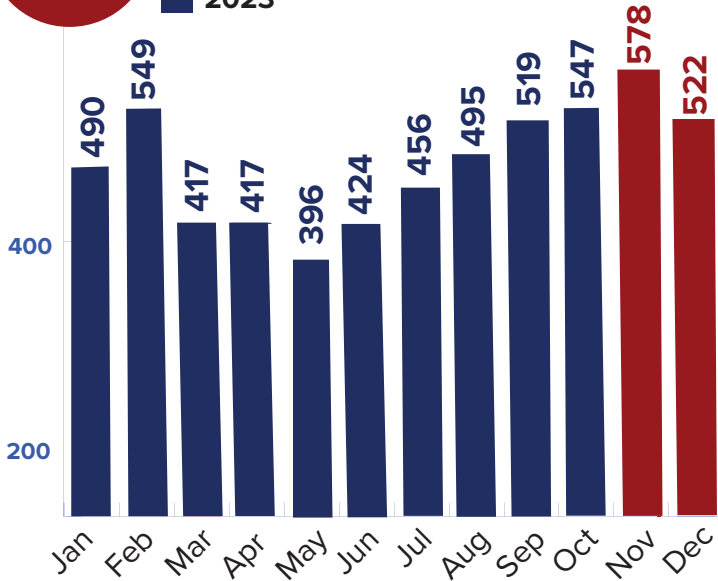
	JUL	AUG	SEP	OCT	NOV	DEC
2021	349,810	325,000	345,000	335,000	365,500	350,250
2022	399,450	390,000	401,500	371,400	379,950	375,000
2023	408,000	396,500	397,500	406,500	-	-
TREND	-2%	+2%	-1%	+9%	-	-



NUMBER OF ACTIVE LISTINGS

OCTOBER 2023: 547

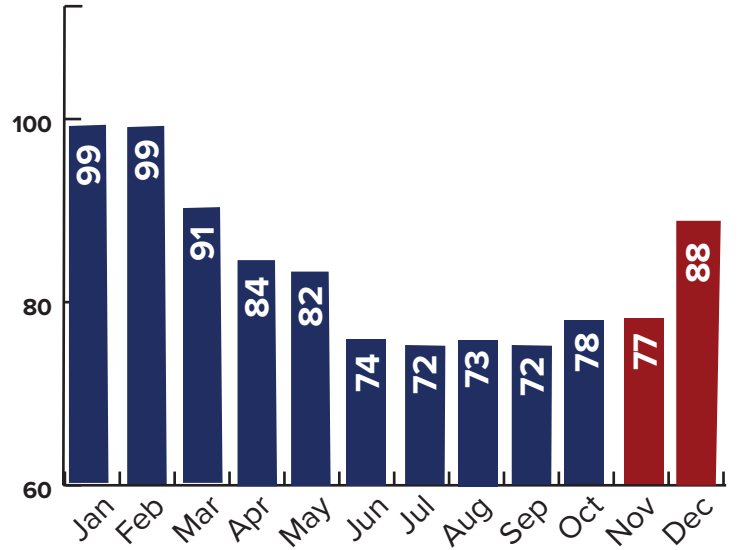
■ 2022
■ 2023



AVERAGE DAYS ON MARKET

OCTOBER 2023: 78

■ 2022
■ 2023



Number of active listing is
-8% from **OCTOBER 2022**

Average days on market is
-13% from **OCTOBER 2022**

DAYS ON MARKET HISTORICAL OVERVIEW

2013	123	2018	84
2014	125	2019	84
2015	115	2020	82
2016	103	2021	72
2017	91	2022	68

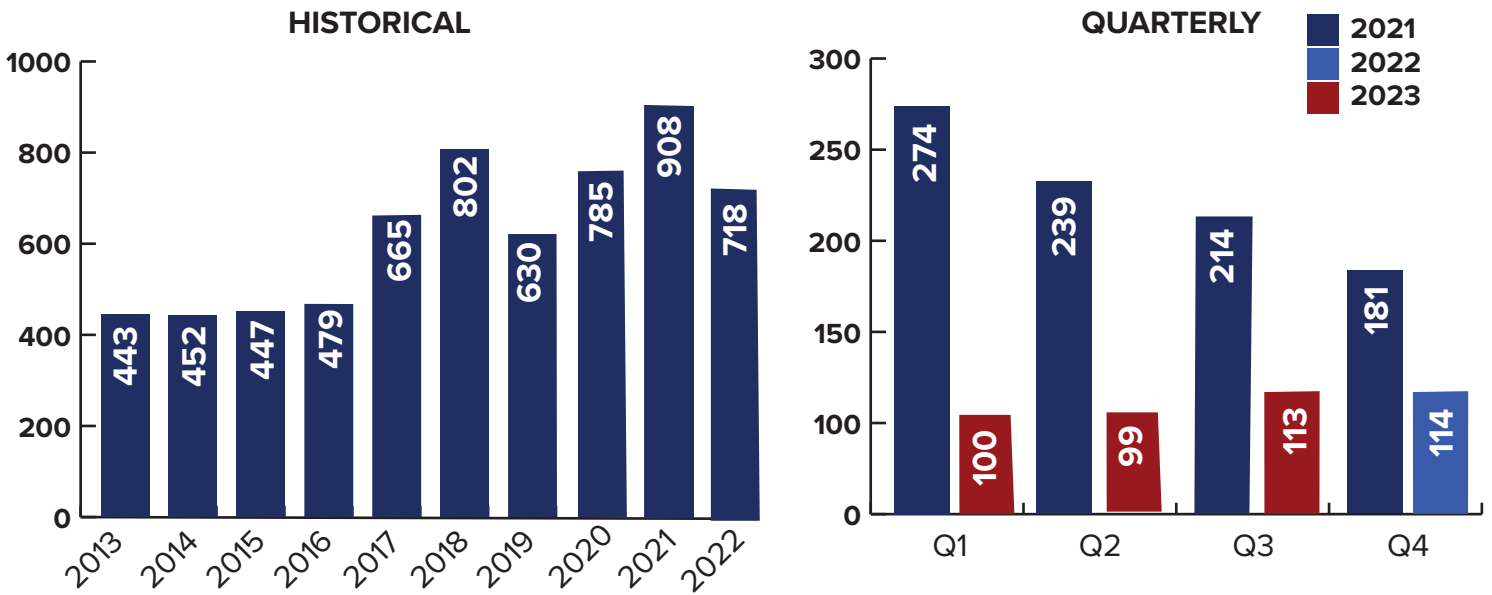
NOVEMBER 2023 INVENTORY BY PRICE RANGE

PRICE RANGE	SOLD LISTINGS	ACTIVE LISTINGS	MONTHS OF INVENTORY
0 - 100K	9	2	2.7
101K - 200K	39	7	2.2
201K - 300K	264	53	2.4
301K - 400K	657	160	2.9
401K - 500K	489	127	3.1
501K - 700K	400	129	3.9
701K - 1 MILLION	202	108	6.4
1 MILLION +	47	50	12.8

MEDIAN SOLD PRICE BY AREA OCTOBER 2023

GRAND JUNCTION CITY	NE GRAND JUNCTION	NORTH GRAND JUNCTION	SE GRAND JUNCTION	CLIFTON
\$305,500	\$352,500	\$475,063	\$320,500	\$246,500
FRUITA	REDLANDS	PALISADE	ORCHARD MESA	NW GRAND JUNCTION
\$472,000	\$596,750	\$564,500	\$442,500	\$633,333

RESIDENTIAL BUILDING PERMITS ISSUED IN MESA COUNTY



Reported from the Mesa County Clerk & Records office and believed to be accurate but is not guaranteed.

*All data, except where noted otherwise, is reported from the GJARA MLS and believed to be accurate but is not guaranteed.
 Figures shown reflect MLS transactions only and do not include transactions without a Realtor.
 Except where noted, figures reflect residential sales of single family homes, condos and townhouses*